

East Capitol Street

1700 East Capitol Street, S.E.
Washington, DC



North Elevation Rendering Looking Toward East Capitol Street

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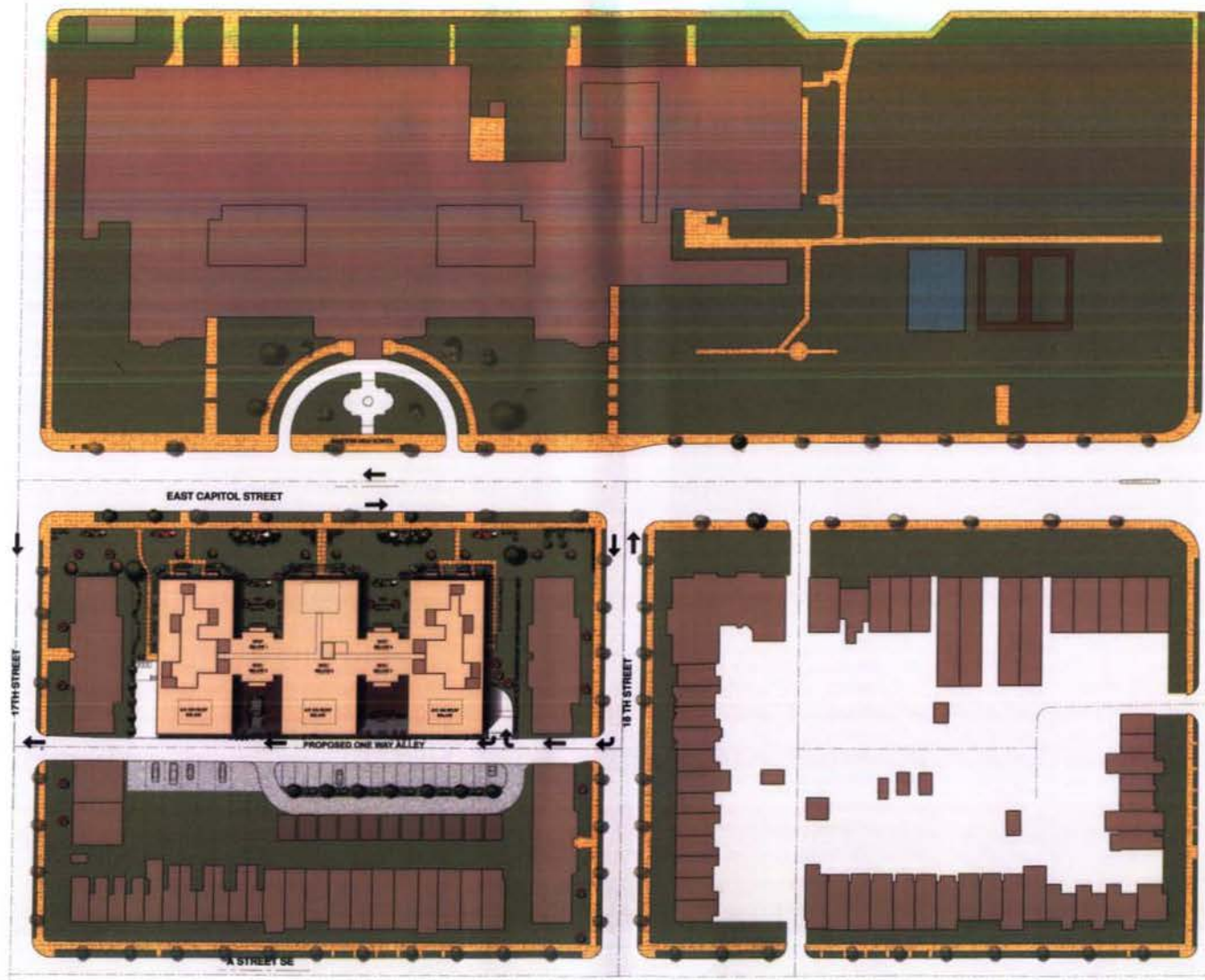
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COMSTOCK EAST CAPITOL, L.L.C.
11400 Sunset Hill Rd. Reston, Virginia, 20190

COMSTOCK HOMES
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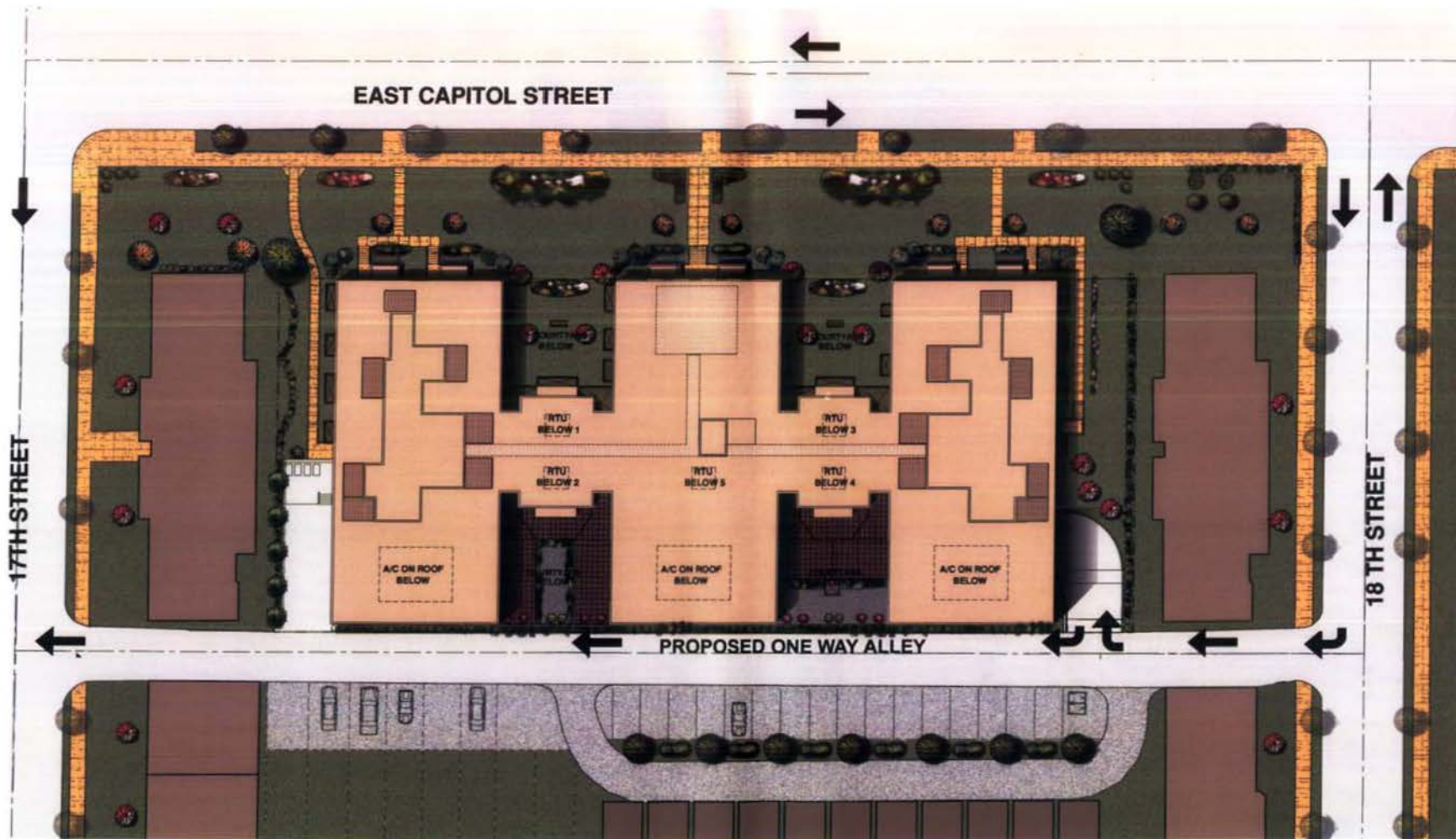
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NORTH ELEVATION LOOKING FROM EAST CAPITOL STREET

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WEST ELEVATION

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EAST ELEVATION

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SOUTH ELEVATION

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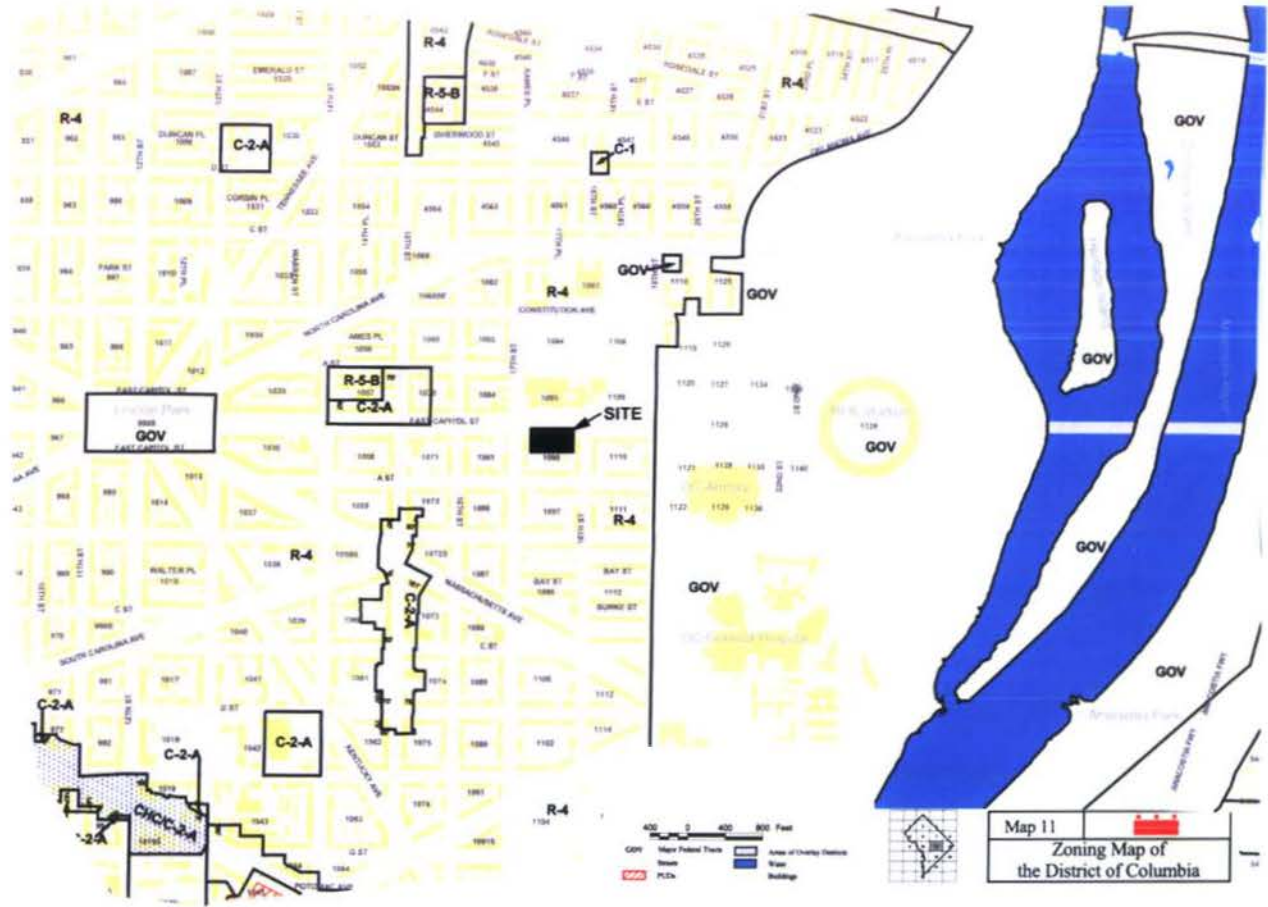


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A6

Existing Zoning

R4—Permits matter-of-right development of single-family residential uses (including detached, semi-detached, row dwellings, and flats), churches and public schools with a minimum lot width of 18 feet, a minimum lot area of 1,800 square feet and a maximum lot occupancy of 60% for row dwellings, churches and Flats, a minimum lot width of 30 feet and a minimum lot area of 3000 square feet for semi-detached structures, a minimum lot width of 40 feet and a minimum lot area of 4000 square feet and 40% lot occupancy for all other structures, and a maximum height of three (3) stories/forty (40) feet. Conversions of existing buildings to apartments are permitted for lots with a minimum lot area of 900 square feet per dwelling unit.



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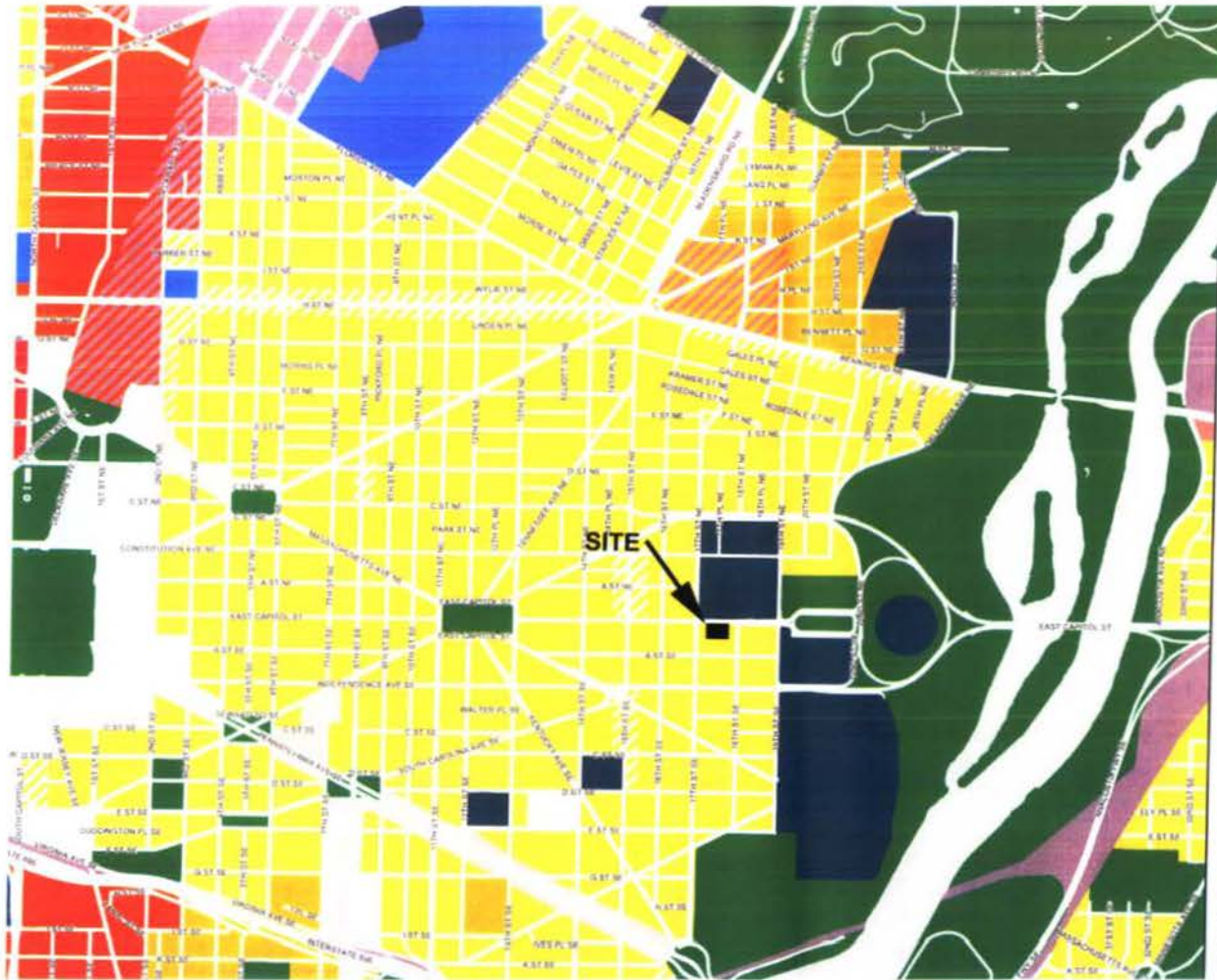
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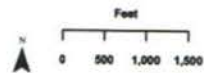
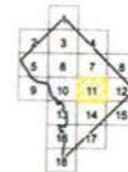
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**District of Columbia
Generalized
Land Use**

Map 11

- Residential-Low Density
- Residential-Moderate Density
- Residential-Medium Density
- Residential-High Density
- Commercial-Low Density
- Commercial-Moderate Density
- Commercial-Medium Density
- Commercial-Medium-High Density
- Commercial-High Density
- Institutional
- Federal
- Local Public Facilities
- Parks, Recreation, and Open Space
- Production and Technical Employment
- Mixed Use
- Water
- NO DATA



Government of the
District of Columbia
Anthony A. Williams, Mayor

Office of Planning - March 7, 2005
801 North Capitol St NE Suite 4000
Washington DC 20002
<http://planning.dc.gov>

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East Capitol Street -- PUD -

	Lot Size	Zone	Maximum stories	Max Height	Minimum Lot area	Minimum lot width-feet	Max- FAR	Lot occupancy	Parking
Allowed	43,560	R5B	none prescribed	60'	N/A	N/A	3 127,887	60% 25,577	1 for each 2 units
Proposed	42,629		4	49.9			2.7 28,301	66% 28,301	

Total Units 134

	Number of spaces
Cellar Level Parking	16,565.00
Parking Level B1	35,101.00

Totals

113

Parking spaces = 113 / 134 units = .843 spaces/unit

Total Gross Floor Area	FAR	Bays per floor
Floors 1-3	28,301	324 sf per floor*
4th Floor	27,066	
Penthouse	3,875.00	
Total FAR	116,474.00	

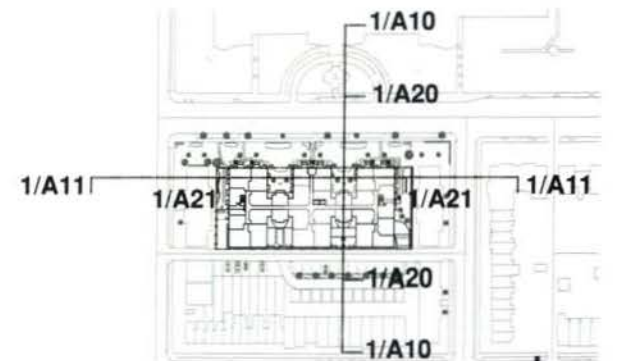
Percentage of FAR used 116,474 / 42,629 **2.7**

* Projections into public space

EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC



1 STREET SECTION - EAST CAPITOL STREET

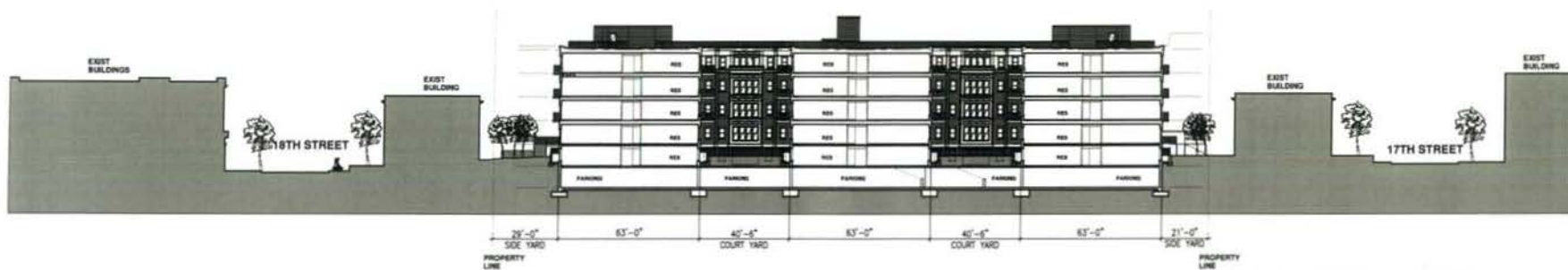


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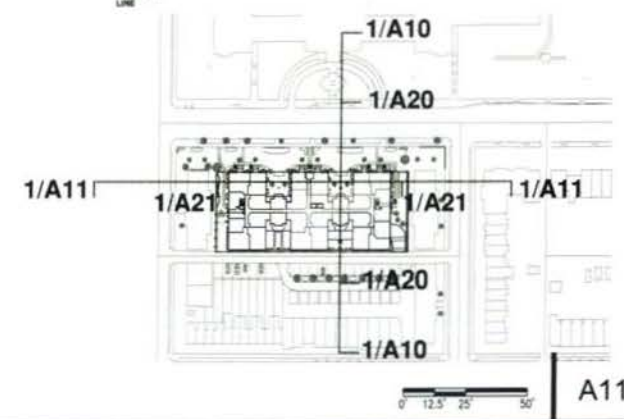
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1 STREET SECTION - 18TH 17TH STREETS

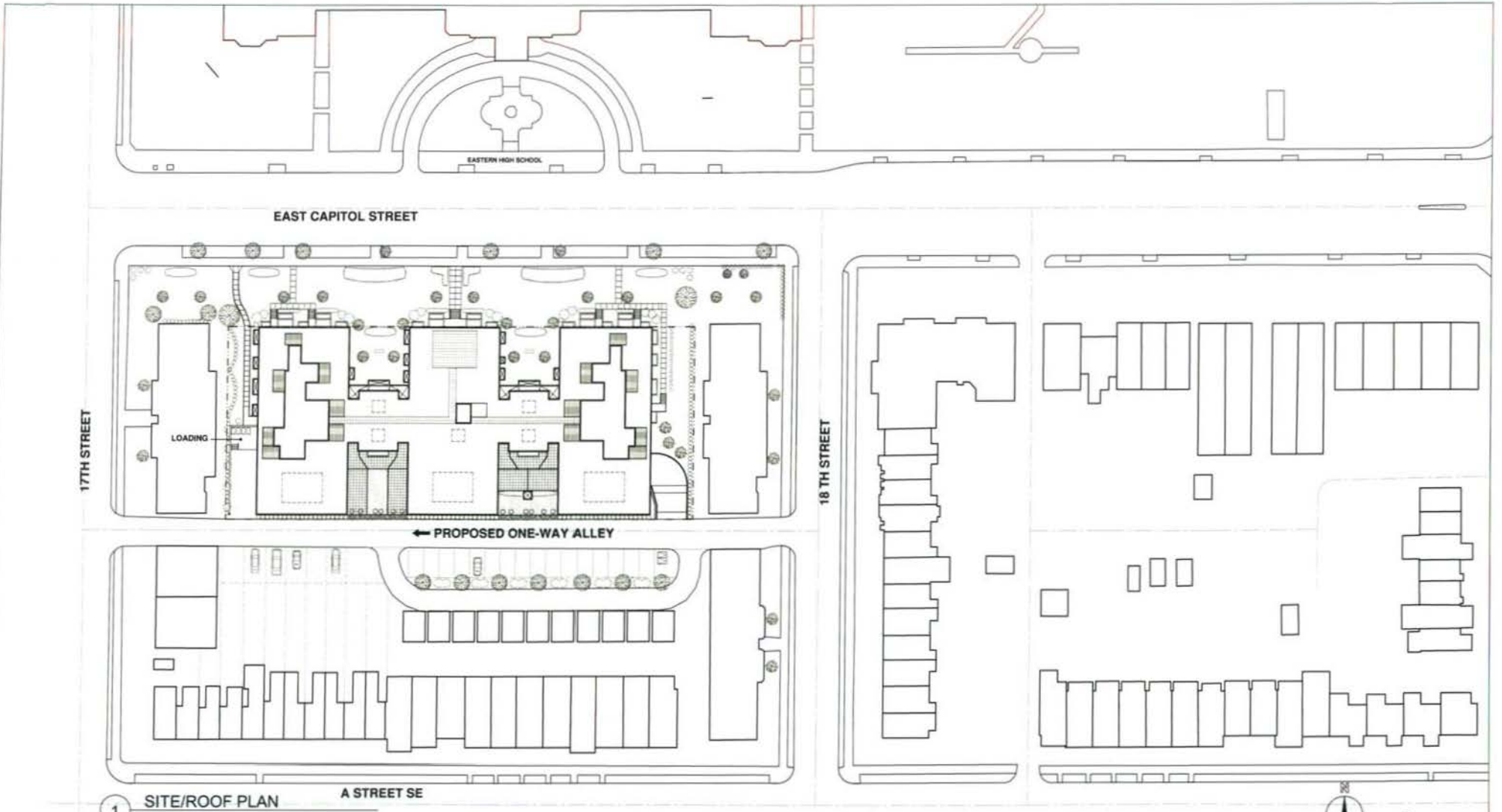


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1 SITE/ROOF PLAN

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EAST CAPITOL STREET

LEGEND

-  WINDOW WELLS THAT DO REQUIRE RAILING
-  WINDOW WELLS THAT DO NOT REQUIRE RAILING

WINDOW WELLS THAT DO NOT REQUIRE RAILING TYP. (SEE LEGEND)

WINDOW WELLS THAT DO REQUIRE RAILING TYP. (SEE LEGEND)

40 TOTAL PARKING SPACES - P1

ALLEY

1 CELLAR FLOOR PLAN

EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC



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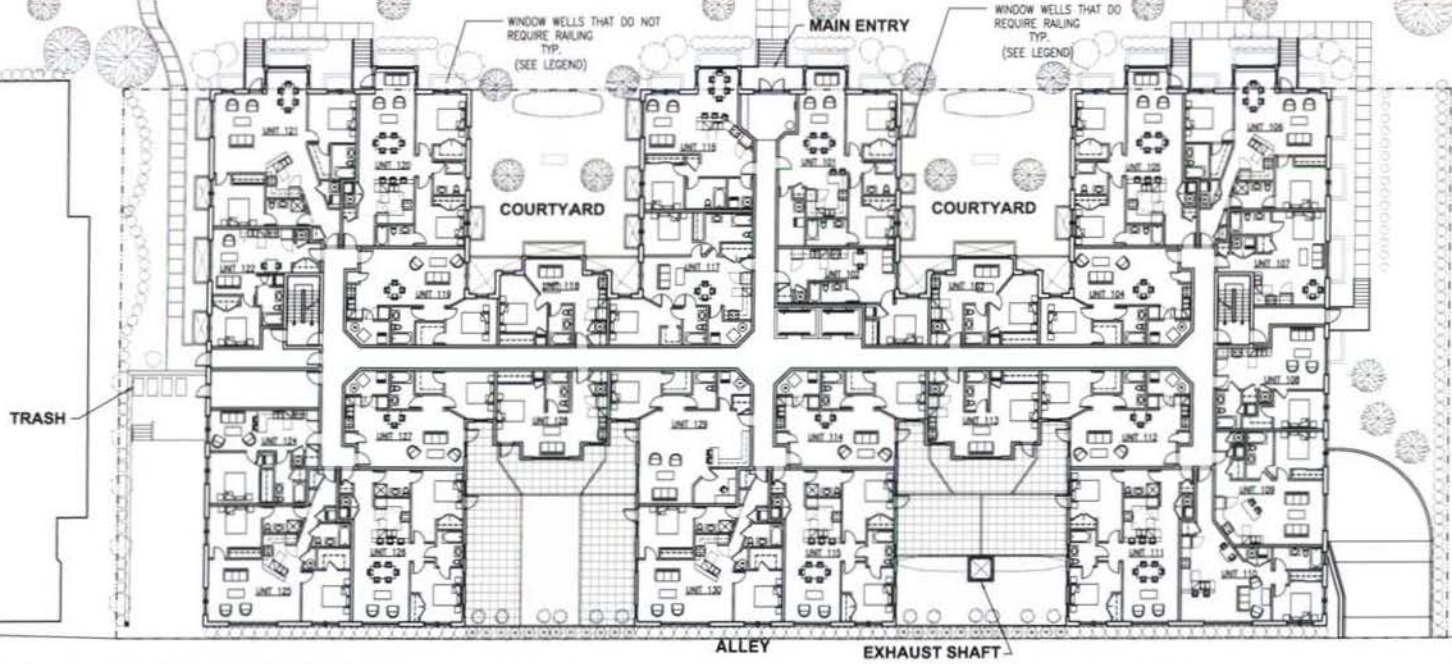
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EAST CAPITOL STREET

LEGEND

-  WINDOW WELLS THAT DO REQUIRE RAILING
-  WINDOW WELLS THAT DO NOT REQUIRE RAILING



1 FIRST FLOOR PLAN

EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC



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EAST CAPITOL STREET



ALLEY

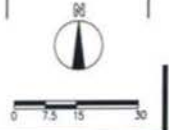
1 SECOND FLOOR PLAN

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EAST CAPITOL STREET



ALLEY

1 THIRD FLOOR PLAN

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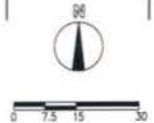
EAST CAPITOL STREET



ALLEY

1 FOURTH FLOOR PLAN

EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC



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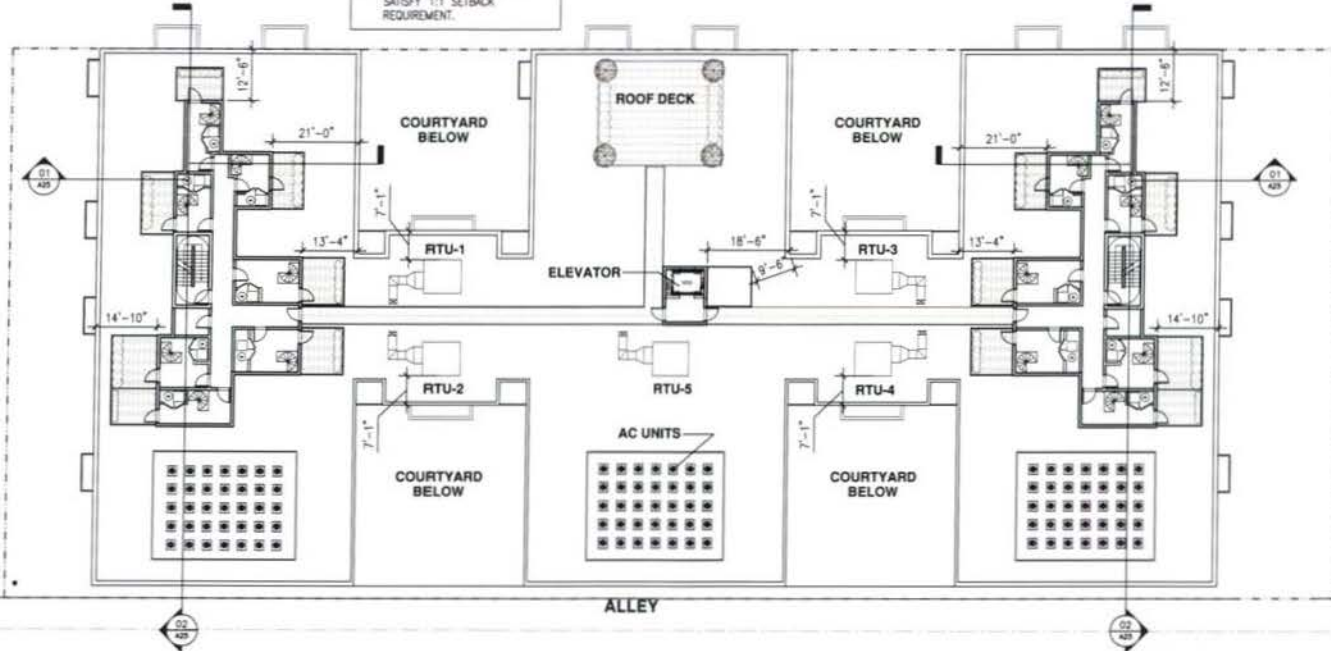
COMSTOCK HOMES
NORTH OF THE INVESTMENT

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EAST CAPITOL STREET

- NOTES:
1. HEIGHT OF PENTHOUSES (10'-10")
2. HEIGHT RTU'S (46 1/2")
3. HEIGHT OF ELEVATOR (15'-0")
4. HEIGHT OF HOISTWAY (4'-10")
5. ALL ROOFTOP STRUCTURES SATISFY 1:1 SETBACK REQUIREMENT.



1 PENTHOUSE FLOOR PLAN

EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC



A18

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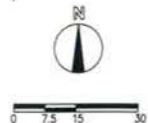
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EAST CAPITOL STREET



1 PENTHOUSE ROOF PLAN

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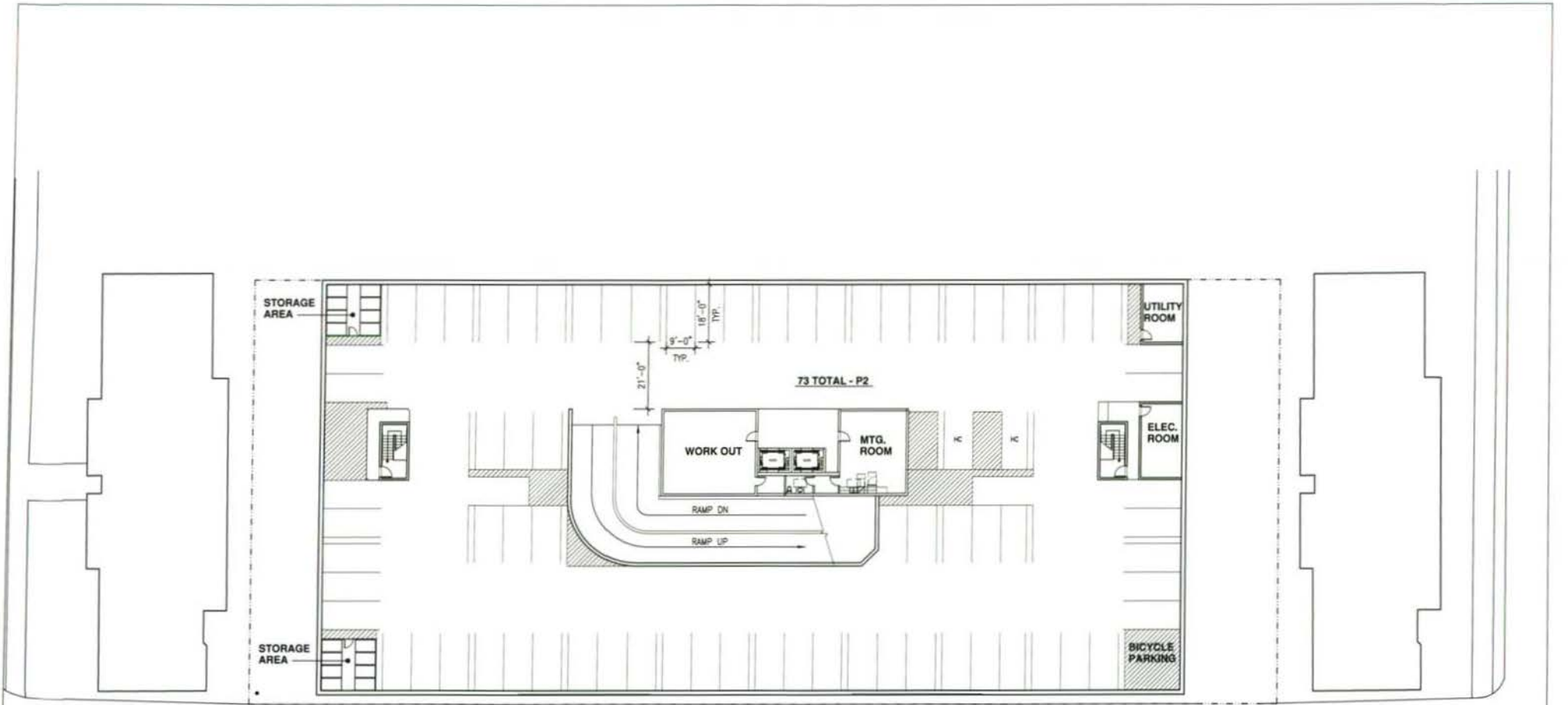
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1 PARKING LEVEL PLAN

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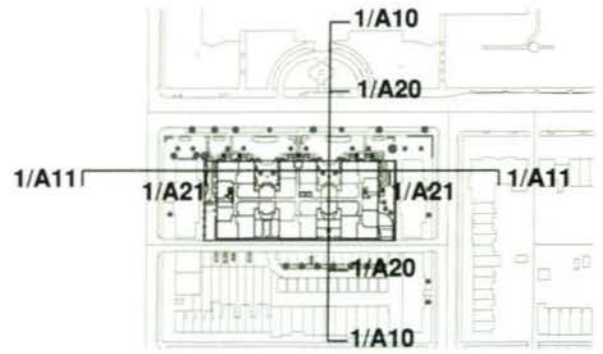
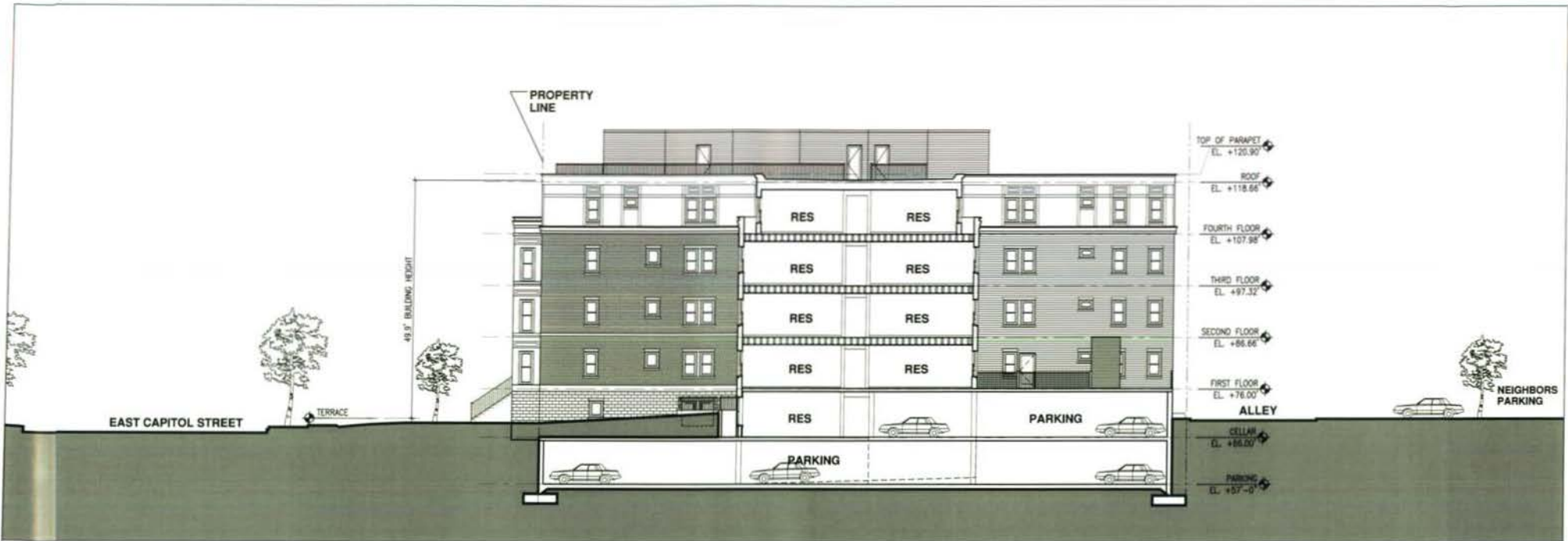
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1 TRANSVERSE SECTION

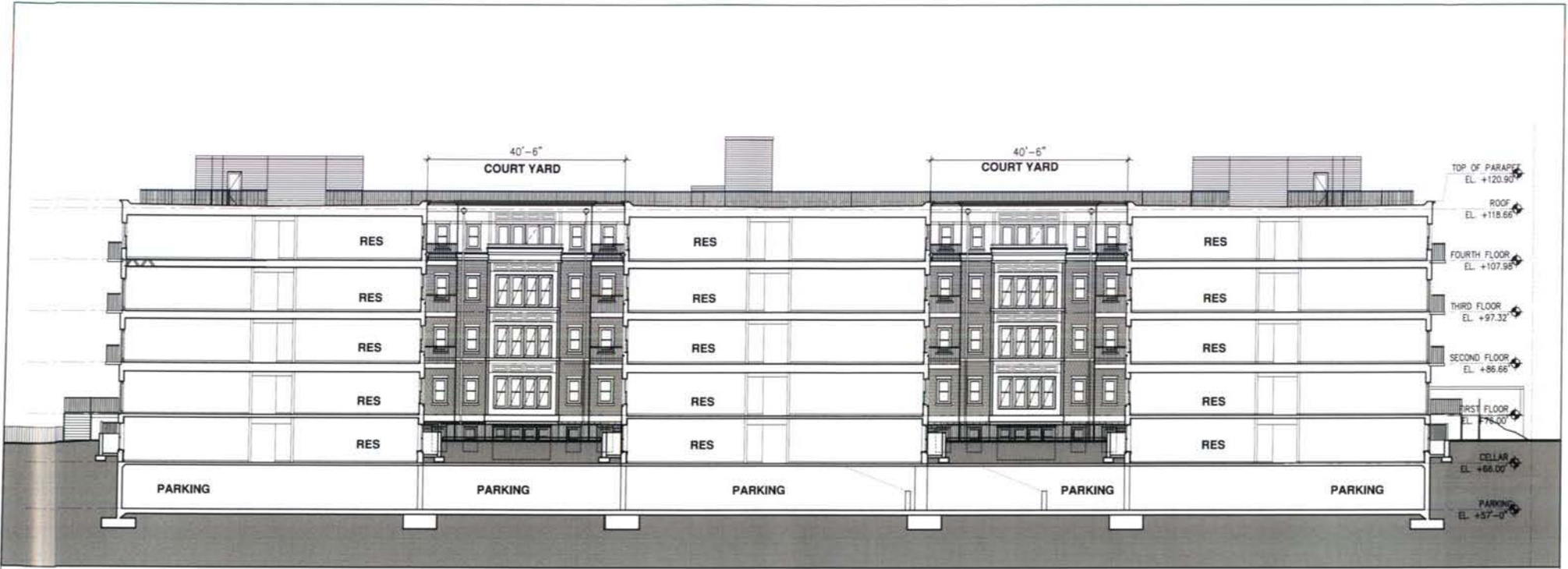
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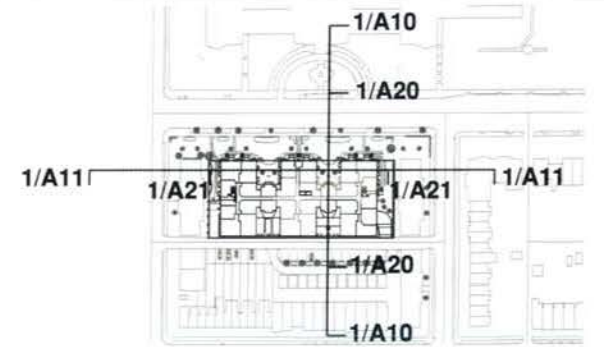
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① LONGITUDINAL SECTION LOOKING SOUTH THROUGH EAST CAPITOL STREET COURTYARDS



EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC

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2 NORTH BUILDING ELEVATION



1 SOUTH BUILDING ELEVATION

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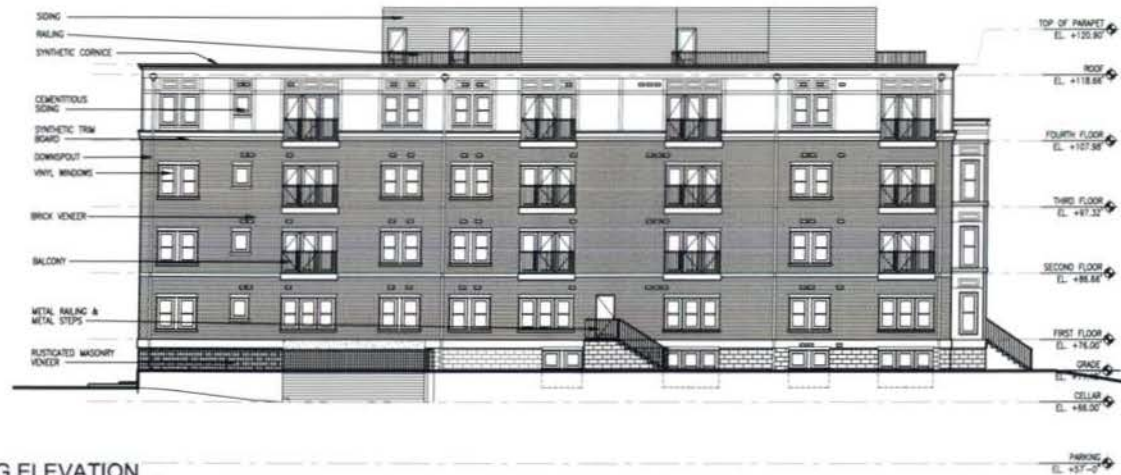
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2 WEST BUILDING ELEVATION



1 EAST BUILDING ELEVATION



EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC

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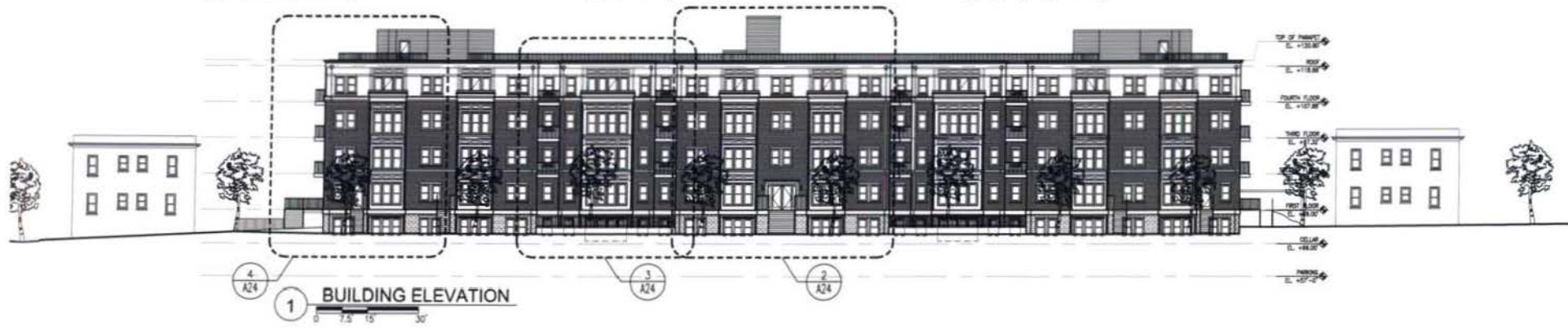
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4 BUILDING CORNER ELEVATION

3 BUILDING COURTYARD ELEVATION

2 BUILDING ENTRY ELEVATION



1 BUILDING ELEVATION

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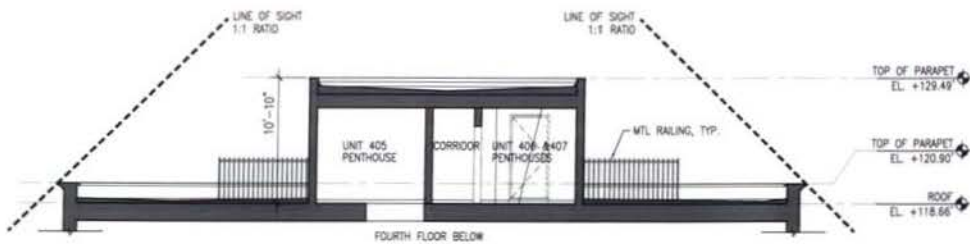
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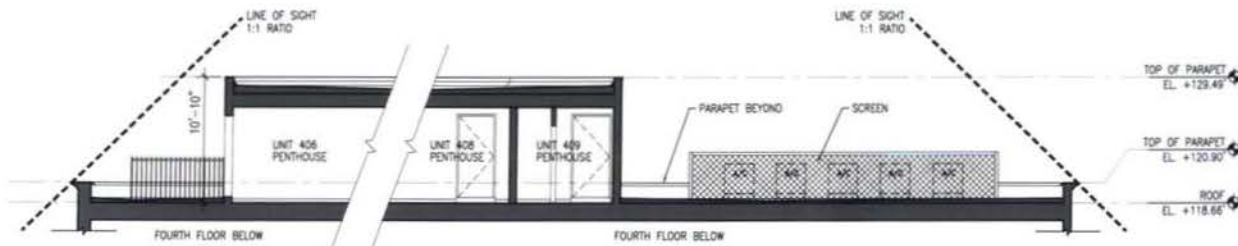
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1 SECTION @ PENTHOUSE ROOF



PENTHOUSE FLOOR PLAN



2 SECTION @ PENTHOUSE ROOF

EAST CAPITOL STREET SE, SQUARE 1096 WASHINGTON, DC

A25



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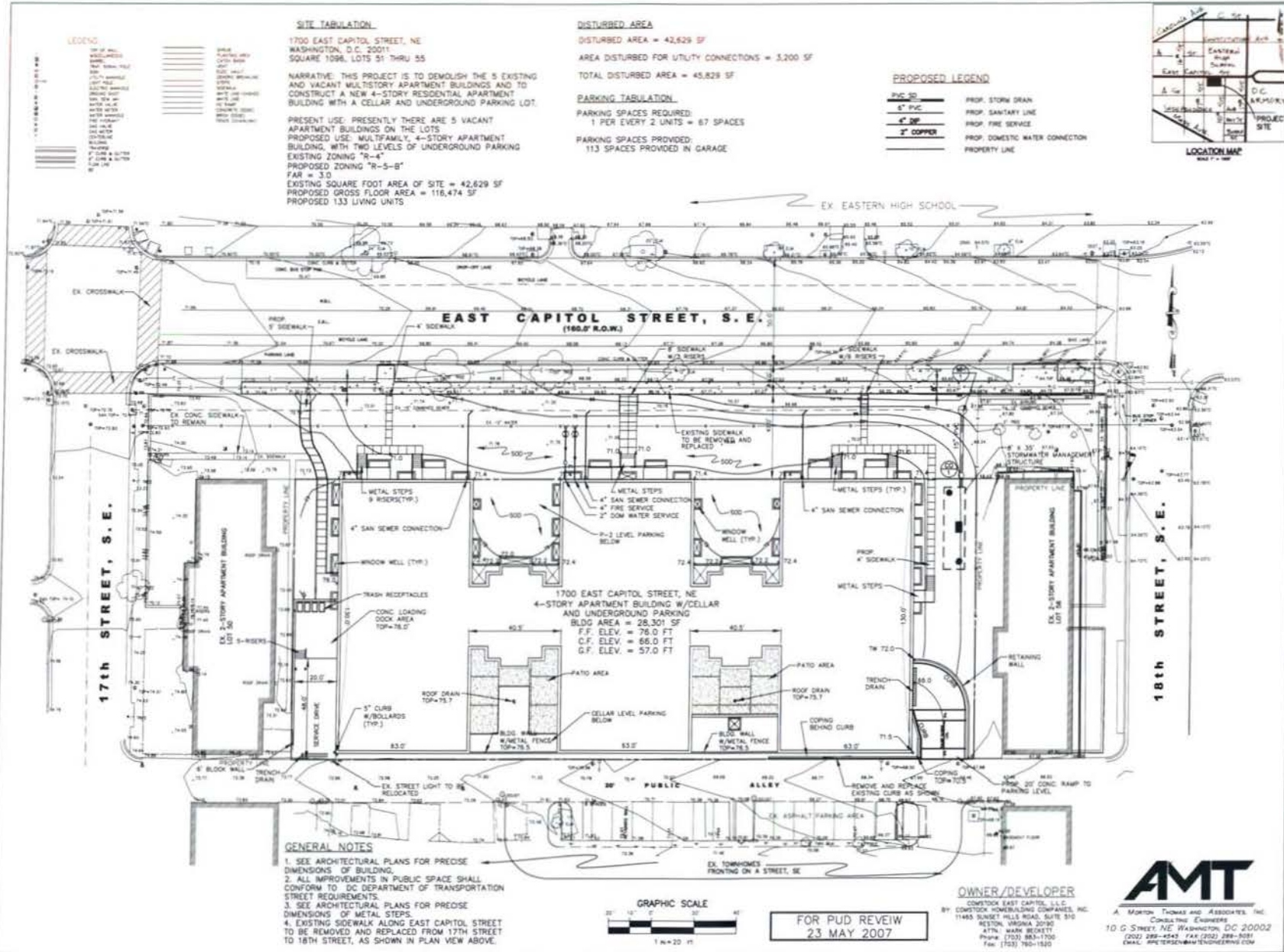
CONSULTANTS

East Capitol
 1701 East Capitol Street, SE
 Washington DC 20003

SCALE
 DRAWN BY: _____ CHECKED BY: _____
 ISSUED: _____ DATE: _____
 REVISIONS: 5-23-07

SITE IMPROVEMENTS
 CONCEPT PLAN

C-1.0



SITE TABULATION
 1700 EAST CAPITOL STREET, NE
 WASHINGTON, D.C. 20011
 SQUARE 1098, LOTS 51 THRU 55

NARRATIVE: THIS PROJECT IS TO DEMOLISH THE 5 EXISTING AND VACANT MULTISTORY APARTMENT BUILDINGS AND TO CONSTRUCT A NEW 4-STORY RESIDENTIAL APARTMENT BUILDING WITH A CELLAR AND UNDERGROUND PARKING LOT.

PRESENT USE: PRESENTLY THERE ARE 5 VACANT APARTMENT BUILDINGS ON THE LOTS.
PROPOSED USE: MULTIFAMILY, 4-STORY APARTMENT BUILDING, WITH TWO LEVELS OF UNDERGROUND PARKING.
EXISTING ZONING: "R-4"
PROPOSED ZONING: "R-5-B"
FAR = 3.0
EXISTING SQUARE FOOT AREA OF SITE = 42,629 SF
PROPOSED GROSS FLOOR AREA = 116,474 SF
PROPOSED 133 LIVING UNITS

DISTURBED AREA
 DISTURBED AREA = 42,629 SF
 AREA DISTURBED FOR UTILITY CONNECTIONS = 3,200 SF
 TOTAL DISTURBED AREA = 45,829 SF

PARKING TABULATION
 PARKING SPACES REQUIRED:
 1 PER EVERY 2 UNITS = 67 SPACES
 PARKING SPACES PROVIDED:
 113 SPACES PROVIDED IN GARAGE

PROPOSED LEGEND

8" PVC	PROP. STORM DRAIN
6" PVC	PROP. SANITARY LINE
4" CP	PROP. FIRE SERVICE
2" COPPER	PROP. DOMESTIC WATER CONNECTION
	PROPERTY LINE

GENERAL NOTES

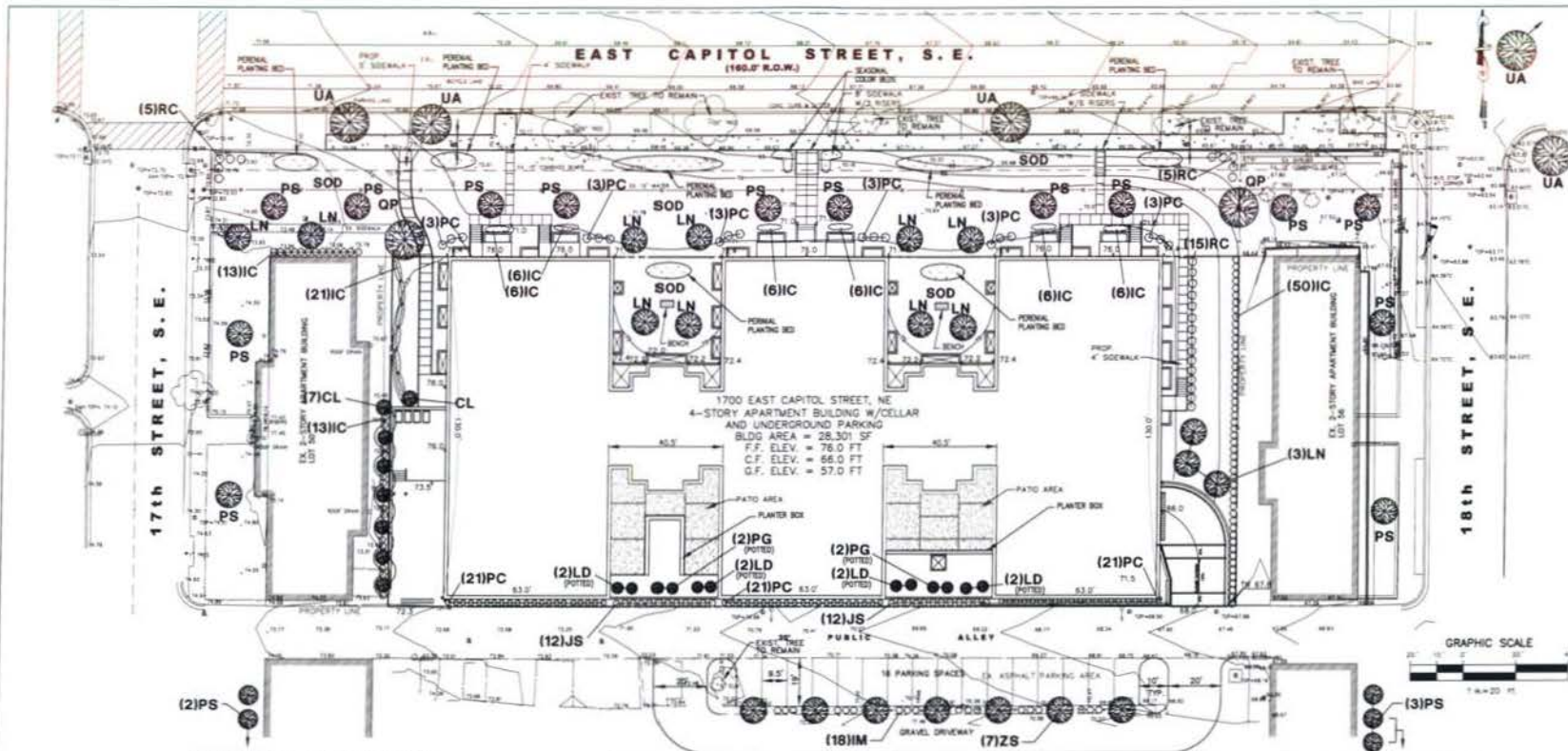
- SEE ARCHITECTURAL PLANS FOR PRECISE DIMENSIONS OF BUILDING.
- ALL IMPROVEMENTS IN PUBLIC SPACE SHALL CONFORM TO DC DEPARTMENT OF TRANSPORTATION STREET REQUIREMENTS.
- SEE ARCHITECTURAL PLANS FOR PRECISE DIMENSIONS OF METAL STEPS.
- EXISTING SIDEWALK ALONG EAST CAPITOL STREET TO BE REMOVED AND REPLACED FROM 17TH STREET TO 18TH STREET, AS SHOWN IN PLAN VIEW ABOVE.



FOR PUD REVIEW
 23 MAY 2007

OWNER/DEVELOPER
 CONSTACK EAST CAPITOL, L.L.C.
 BY: CONSTACK HOMEOWNERS COMPANIES, INC.
 11455 SUNSET HILLS ROAD, SUITE 310
 RESTON, VIRGINIA 20190
 ATTN: MARK BECKETT
 PH: (703) 863-7100
 FAX: (703) 760-1830

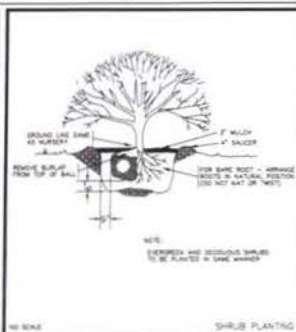
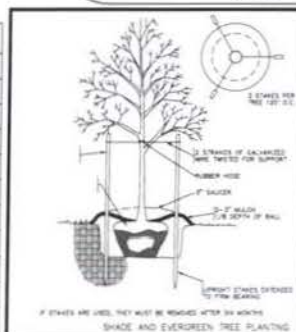
AMT
 A. MORTON THOMAS AND ASSOCIATES, INC.
 CONSULTING ENGINEERS
 10 G STREET, NE WASHINGTON, DC 20002
 (202) 288-4841 FAX: (202) 288-0581
 EMAIL: APETERSEN@AMTEngineering.COM



PROPOSED SITE LANDSCAPE PLANT MATERIALS

KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	TOTAL	COMMENTS
IC	ILEX DREKATA 'COMPACTA'	COMPACT JAPANESE HOLLY	24"-30"	SHRUB	2' OC	108	
LN	LARIX PRINCEPS 'NIDDA'	WHITE CRAPPE WHITE	6'-10'	SHRUB	---	72	
PC	PHYRACANTHA COCCINEA	FIRETHORN	24"-30"	SHRUB	3' O.C.	97	
QP	QUERCUS PHELLODENDRON	WILLOW OAK	2.5'-3' CAL	SHRUB	---	3	
CL	CUPRESSUS SEMPERVIRENS	LEYLAND CYPRESS	6'-7'	SHRUB	6'-8'	6	
PS	PRUNUS SERRULATA	KAWAZAN CHERRY	17"-1.5'	SHRUB	6'-8'	18	
JS	JUNIPERUS SCOPULORUM	SKYROCKET JUNIPER	24"-30"	SHRUB	6'-8'	24	
UA	ULMUS AMERICANUS	ELM	3.5'-3.5'	SHRUB	---	3	
LD	LARIX PRINCEPS 'DWARF'	CRAPPE WHITE DWARF	3'-4'	SHRUB	6'-8'	72	4-AT ROOF TOP
AL	ALBERTA SPRUCE	DWARF ALBERTA SPRUCE	3'-4'	SHRUB	---	4	
PC	PHYRACANTHA COCCINEA	PHYRACANTHA COCCINEA	24"-30"	SHRUB	6'-8'	23	
LN	LEUCODENDRON	DRAGON LADY	3'-3'	SHRUB	36"	18	
SS	SANTALUM	MUSKASHINO	1.5'-3'	SHRUB	20'	7	

NOTE:
 1. PLANTER BOXES WITH LAMBEKOR FLOWERING SAGE, COROPIS, DWARF LILAC AND WINE MEXICANA
 FINAL PLANT SPECIES TO BE SPECIFIED IN CONSTRUCTION DOCUMENTS
 2. PERENNIAL BEDS WITH SAFFIOLLE, BROWN EYED SUSAN, ORNAMENTAL GRASSES AND PERENNIALS
 FINAL PLANT SPECIES TO BE SPECIFIED IN CONSTRUCTION DOCUMENTS



FOR PUD REVIEW
 23 MAY 2007

OWNER/DEVELOPER
 COMSTOCK EAST CAPITOL, L.L.C.
 BY: COMSTOCK HOMEBUILDING COMPANIES, INC.
 11485 SUNSET HILLS ROAD, SUITE 310
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Architect, P.C.
 1817 M Street, NW
 WASHINGTON, DC 20036
 202.822.5995 (P); 202.822.0908 (F)

CONSULTANTS





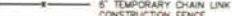

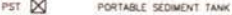


East Capitol
 1701 East Capitol Street, SE
 Washington DC 20003

SCALE
 DRAWN BY: _____ CHECKED BY: _____
 REVISIONS: _____ DATE: _____
 REVISIONS: **5-23-07**

SITE LANDSCAPE CONCEPT PLAN

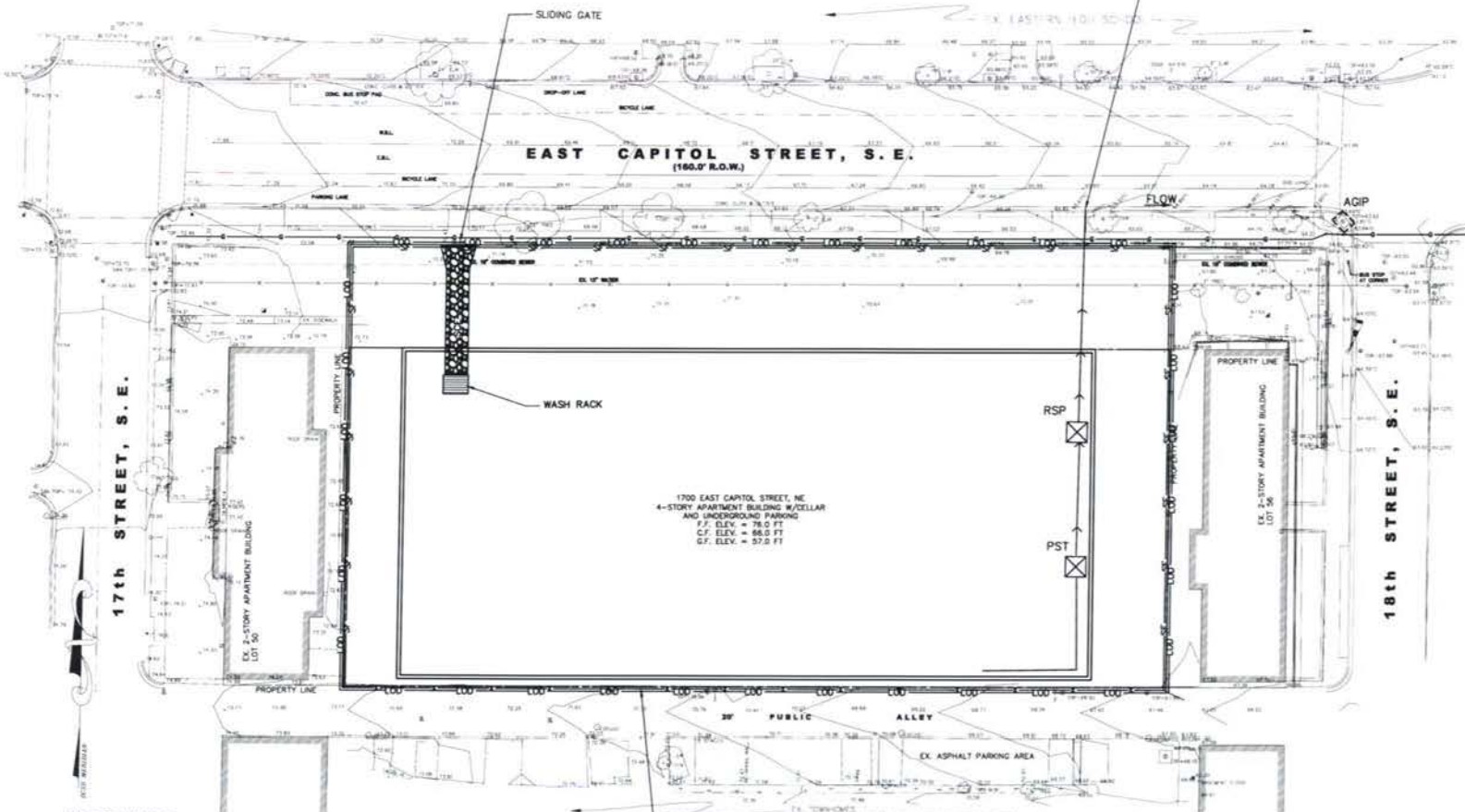
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106-207.00

- E&S LEGEND**
-  STABILIZED CONSTRUCTION ENTRANCE (SCE)
 -  VEHICLE WASH RACK
 -  LIMIT OF DISTURBANCE
 -  SILT FENCE
 -  8' TEMPORARY CHAIN LINK CONSTRUCTION FENCE
 -  PROPOSED BUILDING OUTLINE
 -  PST
 -  RSP
 -  FLEXIBLE HOPE PIPE



USE REMOVABLE SUMP PIT TO DEWATER EXCAVATION. DISCHARGE FROM WASH RACK FILTERED AS NEEDED. DISCHARGE FROM WASH RACK AND EXCAVATION DEWATERING CONVEYED VIA ABOVEGROUND FLEXIBLE HOPE PIPE TO NEAREST DOWNSTREAM INLET.



PROJECT NARRATIVE

THIS PROJECT IS LOCATED AT 1705-1729 EAST CAPITOL STREET, NE. THE PROPERTY IS ZONED "R-5-B". THIS PROJECT IS TO DEMOLISH THE EXISTING APARTMENT BUILDINGS AND CONSTRUCT NEW 4-STORY MULTIFAMILY APARTMENT BUILDING WITH A CELLAR AND UNDERGROUND PARKING. THE EXISTING APARTMENT BUILDINGS ARE VACANT. THE NEW CONSTRUCTION OF THE 4-STORY BUILDING AND THE UTILITY INSTALLATION WILL DISTURB 45,805 SQUARE FEET OF AREA.

THIS PLAN IS FOR EROSION & SEDIMENT CONTROL PURPOSES ONLY. EROSION & SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.

NOT FOR CONSTRUCTION
23 OCTOBER 2006

OWNER/DEVELOPER
CONVICTION EAST CAPITOL, LLC
BY CONVICTION HOMEBUILDING COMPANIES, INC.
11465 SUNSET HILLS ROAD, SUITE 310
RESTON, VIRGINIA 20190
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CONSULTANTS

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1701 East Capitol Street, SE
Washington DC 20003

SCALE	CHECKED BY
DRAWN BY	DATE
ISSUED	
REVISIONS	10-23-06

EROSION AND SEDIMENT CONTROL PLAN

C-2.0

34' Garbage Truck Access (Front-Load)

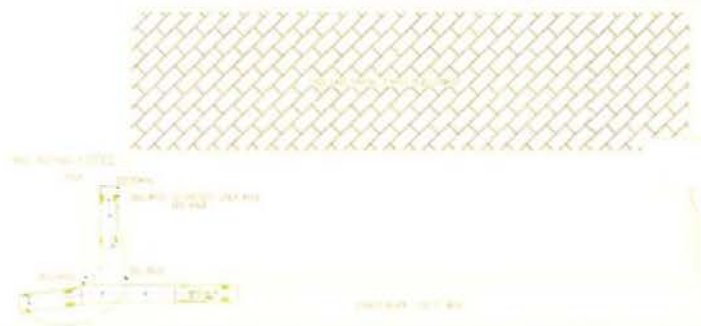


PULLING INTO LOADING DOCK

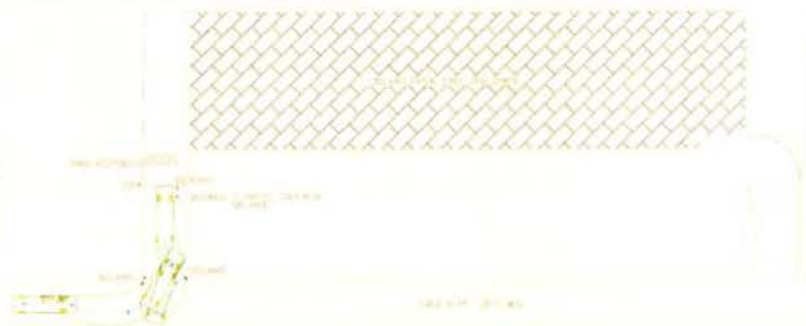


BACKING OUT OF LOADING DOCK

30' Single-Unit Truck Access



BACKING INTO LOADING DOCK




PULLING OUT OF LOADING DOCK

SCALE: 1" = 60'

COMSTOCK - 1700 EAST CAPITOL STREET DEVELOPMENT

Loading Dock Accessibility by Truck Type

 GOROVE / SLADE ASSOCIATES, Inc.
TRANSPORTATION TRAFFIC and PARKING CONSULTANTS

1140 Connecticut Avenue NW / Suite 700 / Washington, DC 20036 / (202) 298-8825

2014 Carondek Road / Suite 200 / Charlestown, VA 22024 / (703) 757-8800

ISSUED OCTOBER 23, 2006 T-1.0